



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #	
Meeting Date	
Total Fee	
Received By/Date	21-0230 4/15/2021

**Case Type** (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Site Development Plan Review, Special Use Permit, Variance

**Project Address** (Location) Durango and Oso Blanca

**Project Name** Oso Blanca Mini Storage **Proposed Use** Mini Storage Facility

**Assessor's Parcel #(s)** 125-17-703-001 **Ward #** 6

**General Plan:** Existing SC-TC Proposed SC-TC **Zoning:** Existing TC Proposed TC

**Additional Information** SDR, SUP and Variance to allow a 3-story mini storage facility

**Property Owner** Northwest 95, LLC

**Address** 1635 Village Center Circle, Suite 100

**E-mail** lbader@fcglv.com

**Contact** Lenny Badger

**City** Las Vegas **State** NV **Zip** 89134

**Phone** 702-242-4949

**Applicant** SAFStor Real Estate Co, LLC

**Address** 444 Seabreeze Blvd., Suite 840

**E-mail** jwilliams@waengineering.com

**Contact** Jon Williams

**City** Daytona **State** FL **Zip** 32118

**Phone** 706-310-0400

**Representative** Kaempfer Crowell

**Address** 1980 Festival Plaza Drive, Suite 650

**E-mail** AJC@kcnvlaw.com

**Contact** Tony Celeste

**City** Las Vegas **State** NV **Zip** 89135

**Phone** 702-792-7000

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

**City Official** \_\_\_\_\_ **Partner(s)** \_\_\_\_\_

**Partner(s)** \_\_\_\_\_

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

**Property Owner Signature** \_\_\_\_\_

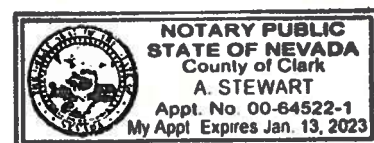
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

**Print Name** Thomas J. DeVore

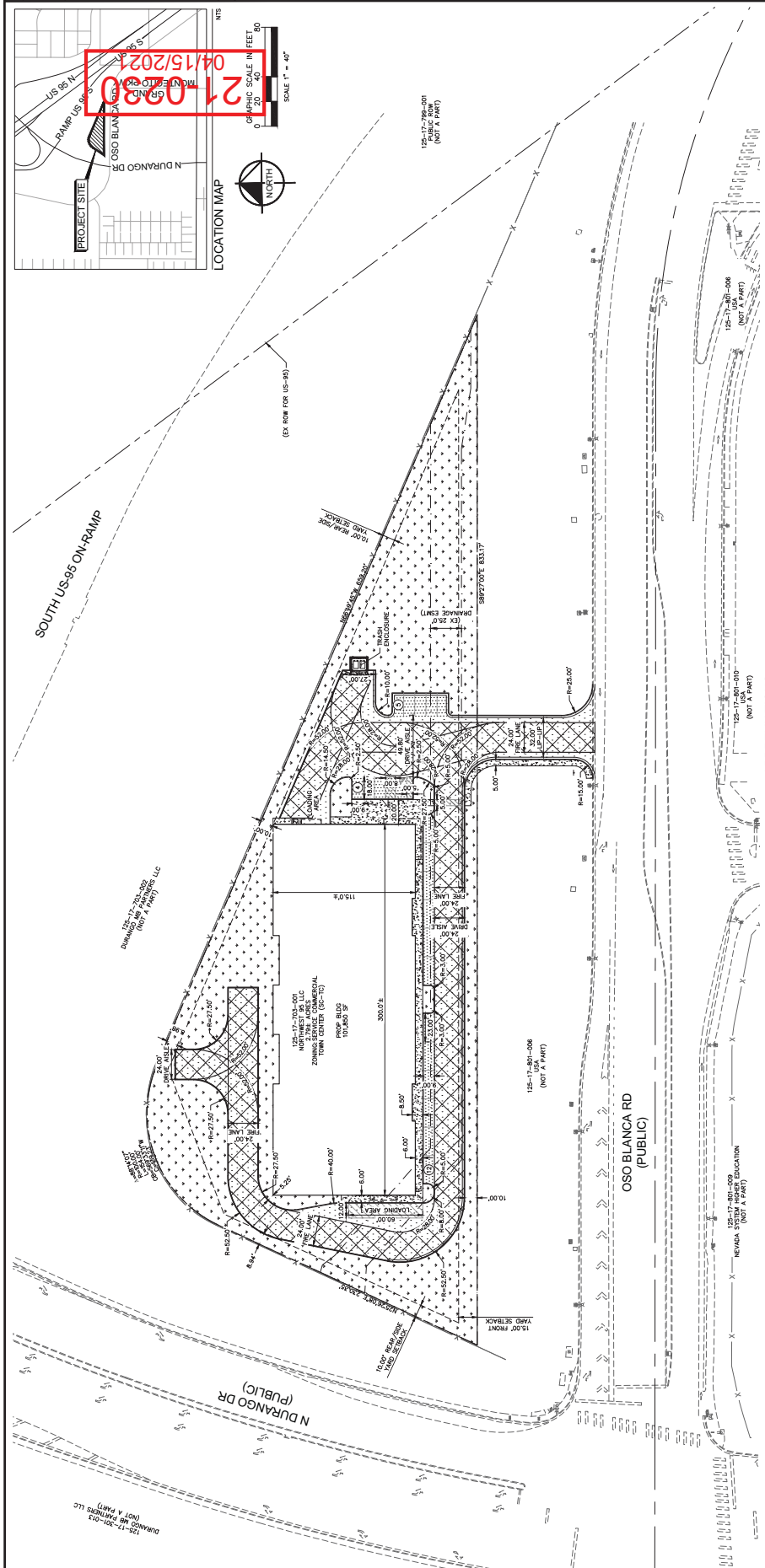
**Subscribed and sworn before me**

This 7th day of April, 2021

Notary Public in and for said County and State







**ABBREVIATIONS**

BC	BACK OF CURB
BCLG	BUILDING
CONC	CONCRETE
EASEM	EASEMENT
EX	EXISTING
LS	LANDSCAPE
PROP	PROPOSED
ROW	RIGHT-OF-WAY
SWK	SIDEWALK
TYP	TYPICAL

PROJECT TABULATIONS:	2.79 AC
PARCEL AREA	
% COVERED BY BLDG	27.9%
PARKING TOTAL	16
BLDG AREA	101,650 SF
BLDG AREA	
LEVEL 1:	33,950 SF
LEVEL 2:	33,950 SF
PER FLOOR	33,950 SF
LANDSCAPE (SF)	49,861 SF
LANDSCAPE (%)	40.9%

PARCEL INFORMATION

SUBJECT PARCELS: 125-177032-001

APN: 125-177032-001

LOT SIZE: 1.00 AC.


ZONING: TOWN CENTER DISTRICT - SERVICE COMMERCIAL (SC-TO)

PARKING SUMMARY

	PARKING REQUIRED	PARKING PROVIDED
STANDARD	20	20
ACCESSIBLE	1	1
TOTAL	21	21





PLAN NOTES		CONSULTANT INFO	
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.		OWNER:	HOY K&B
2. ALL BARS TO BE BAY OF CURB UNLESS OTHERWISE NOTED OR LABELED ON PLAN.		ENGINEER:	MAJANICKI ENGINEERING
		DATE OF SET:	NOV 1988
		COMPANY:	MAJANICKI ENGINEERING INC
		ADDRESS:	1000 W. 10TH AVE. SUITE 100
		CITY:	MINNEAPOLIS, MN 55401
		STATE:	MINN.
		COUNTRY:	U.S.A.
		TEL:	763/551-6400
		FAX:	763/551-6402
		EMAIL:	PAJANICKI@ENGINEERING.COM
		DATE:	NOV 1988
		COMPANY:	MAJANICKI ENGINEERING
		ADDRESS:	1000 W. 10TH AVE. SUITE 100
		CITY:	MINNEAPOLIS, MN 55401
		STATE:	MINN.
		COUNTRY:	U.S.A.
		TEL:	763/551-6400
		FAX:	763/551-6402
		EMAIL:	PAJANICKI@ENGINEERING.COM

	STREET CENTERLINE
=====	PROPERTY LINE
- - - - -	ADJACENT PROPERTY LINE
- . - . -	EXISTING CURB
-----	EXISTING WALK
-----	EXISTING BUILDING
-----	EXISTING DRIVE & GUTTER
-----	EXISTING CUB
-----	EXISTING SIDEWALK
=====	PROPOSED CURB
=====	PROPOSED SIDEWALK
-----	EXISTING PARKING STRIP
-----	EXISTING DRIVE/PARKING STRIP
=====	FURN LINE
-----	PROPOSED FENCE
-----	PROPOSED DRIVE
-----	PROPOSED ASP. PARKING
-----	PROPOSED SIDEWALK DRAIN
-----	PROPOSED DRIVE

 NORTH  
 200000'





PLANT SCHEDULE					
THICK	CODE	REASON / COMMON NAME	CODE	QAL	QDZ
	Frs	<i>Fritularia viciifolia</i> / New Gravel / Winter Ash	36" Box	3"	20
	Rbs pair	<i>Rubus x calioptus</i> "Purple Ribes" / Pink Bleeding Heart	36" Box	3"	22
	Chi las	<i>x Chilocho xanthioides</i> / Chicago	36" Box	3"	23
SHRUBS	CODE	REASON / COMMON NAME	CODE	SIZE	QDZ
	Box gys	<i>Berberis pinnatifida</i> / Blue Gnome Grass	1 Gal	61	24
	Col sd	<i>Comaeograta x soulieana</i> / Feather Reed Grass	3 Gal	23	25
	Hes Tun	<i>Hesperaloe parviflora</i> / Mexican Flame Yucca	5 Gal	24	26
	Leo Fru	<i>Leucophyllum frutescens</i> / Texas Sage	5 Gal	84	27
	Muh sp	<i>Muhlenbergia rigens</i> / Deer Grass	5 Gal	95	28
	Plw flg	<i>Plumbago alba</i> / Big Gelsies	1 Gal	22	29
	Sai tea	<i>Salvia coccinea</i> / Scarlet Sage	3 Gal	64	30
	Sen arm	<i>Senecio armatus</i> / Desert Senecio	3 Gal	86	31
	Yucca	<i>Yucca repens</i> / Texas Yucca	1 Gal	47	32
GRASS / COVER	CODE	REASON / COMMON NAME	CODE	QDZ	QDZ
	Bac sem	<i>Baccharis x "Centennial"</i> / Centennial Coyote Bush	Pinlet		1,033 sf
	Dal sd	<i>Dalea capitata</i> / Dalea	Pinlet		793 sf
	Lun pair	<i>Lantana montevidensis</i> / Trailing Lantana	Pinlet		642 sf
	Ver pair	<i>Veronica pulchella</i> / Rock Verbena	Pinlet		638 sf
REFERENCE NOTES SCHEDULE					
SCHEDULE		QDZ		QDZ	
Mojoie Soil, Decomposed Granite		605-53 ry			



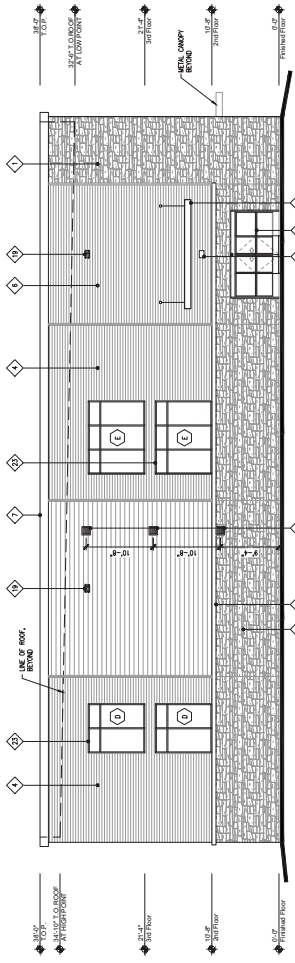
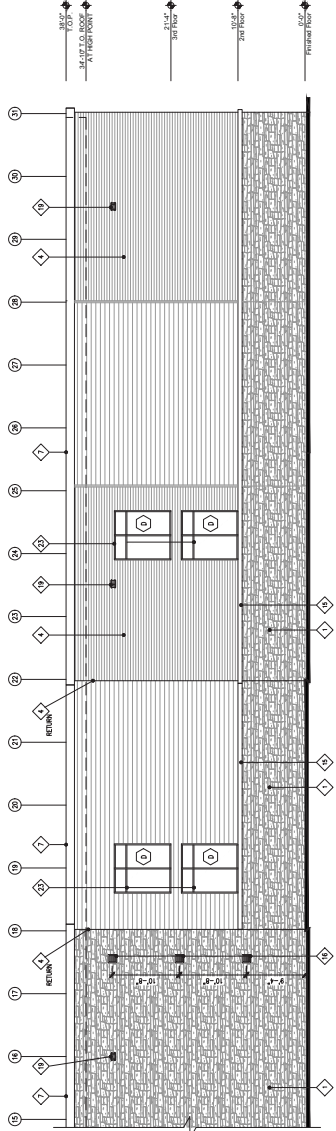
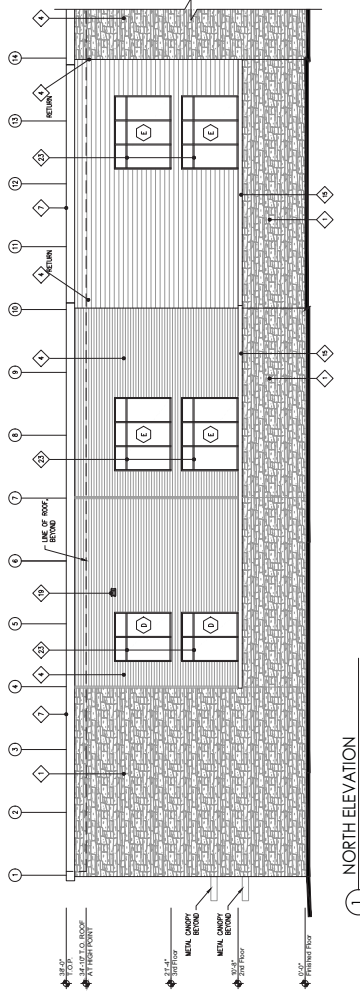




21-0230  
04/15/2021

EXTERIOR FINISH LEGEND	
REF. VALUE	DESCRIPTION
1	ADHESIVE MOUNTED STONE VENEER, VENEERSTONE, INC. MATERIAL, STONE, GRANITE
2	ARCHITECTURAL METAL PANEL, ALUMINUM POWER COATED (R15) BLUE LIGHT BLUE
3	ARCHITECTURAL METAL PANEL, ALUMINUM POWER COATED (R15) DARK BLUE
4	ARCHITECTURAL METAL PANEL, ALUMINUM POWER COATED (R15) TUNDRA LIGHT GRAY
5	ARCHITECTURAL METAL PANEL, ALUMINUM POWER COATED (R15) TUNDRA LIGHT GRAY
6	ARCHITECTURAL METAL PANEL, ALUMINUM POWER COATED (R15) TUNDRA LIGHT GRAY
7	PRE-FINISHED ALUMINUM CORNER TO MATCH CHARCOAL GRAY DARK GRAY PANEL
8	PRE-FINISHED ALUMINUM CORNER TO MATCH CHARCOAL GRAY DARK GRAY PANEL
9	PRE-FINISHED ALUMINUM CORNER TO MATCH CHARCOAL GRAY DARK GRAY PANEL
10	ALUMINUM THERMOPLASTIC FILM - WALL FINISH
11	SERVICE DOOR, PAINT TO MATCH ADJACENT MATERIAL COLOR
12	CHARCOAL GRAY DARK GRAY PANEL
13	CHARCOAL GRAY DARK GRAY PANEL
14	CHARCOAL GRAY DARK GRAY PANEL
15	PRE-FINISHED ALUMINUM CANOPY SYSTEM TO MATCH CHARCOAL GRAY DARK GRAY PANEL
16	PRE-FINISHED ALUMINUM CANOPY SYSTEM TO MATCH CHARCOAL GRAY DARK GRAY PANEL
17	PRE-FINISHED ALUMINUM CANOPY SYSTEM TO MATCH CHARCOAL GRAY DARK GRAY PANEL
18	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
19	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
20	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
21	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
22	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
23	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
24	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
25	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
26	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
27	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
28	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
29	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
30	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
31	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
32	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL
33	STONE TO MATCH COORDINATE VERTICAL ROW OF CHARCOAL GRAY DARK GRAY PANEL

\*REFER TO SHEET A-01 FOR ADDITIONAL DOOR AND WINDOW ELEVATION INFORMATION.



GENERAL NOTES:

- A. EXTERIOR FINISH SHALL BE AS SHOWN ON THIS SHEET. IF ANY FINISH IS NOT SHOWN, THE FINISH SHALL BE AS SHOWN ON THE SHEET FOR THE MOST PART.
- B. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

KEYED NOTES:

- FINISH TAG
- WINDOW TAG
- COLUMN BUNDLE



**WALL TYPE GENERAL NOTES:**

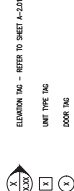
1. ALL GYP BOARD WALL AND CEILING SCHEDULED FOR PAINT OR WALL COVERING SHALL BE CONSTRUCTED TO LEAD FOUR (4) TIMES.
2. ALL WALL TYPES SCHEDULED TO RECEIVE BRONZE SHALL BE EXTERNALLY FINISHED WITH BRONZE PAINT OR WALL COVERING.
3. ALL GYP BOARD WALL TYPES EXPOSED TO VIEW SHALL BE TERMINATED WITH BRONZE PAINT OR WALL COVERING.
4. ALL WALLS SHALL RECEIVE BRONZE PAINT OR WALL COVERING AND SCHEDULE.

21-0230  
04/15/2021

**GENERAL NOTES:**

1. DIMENSIONS ARE TO THE FACE OF STUD OR CEILING UNLESS NOTED OTHERWISE.
2. THE OWNER SHALL VERIFY COMPLIANCE WITH THE "MERCURY WITH LEAD" ACT AND THE "MERCURY WITH LEAD" ACT FOR INTERNATIONAL BUILDING CODE AND ACCESSIBILITY.
3. REFER TO SHEET A-1.01A FOR PARTITION TYPES.
4. FIRE SUPPRESSION SYSTEM TO BE A DETECTED SMALTIM, SYSTEM TO MEET ALL REQUIREMENTS OF THE MIFC AND ALL STATE AND LOCAL APPROVALS PRIOR TO INSTALLATION.
5. ALL STAIR AND ELEVATOR CORE WALLS ARE 1-HR RATED.
6. ALL STAIR DOORS TO BE FIRE RATED PER DOOR SCHEDULE.
7. PROVIDE KEYS AND CAMBERS AT ALL LOADING DOORS AND ALL EXTERIOR DOOR ACCESS POINTS.
8. ALL SLAB REQUIRED UNDER ALL EXTERIOR WALLS.

**KEY NOTES:**



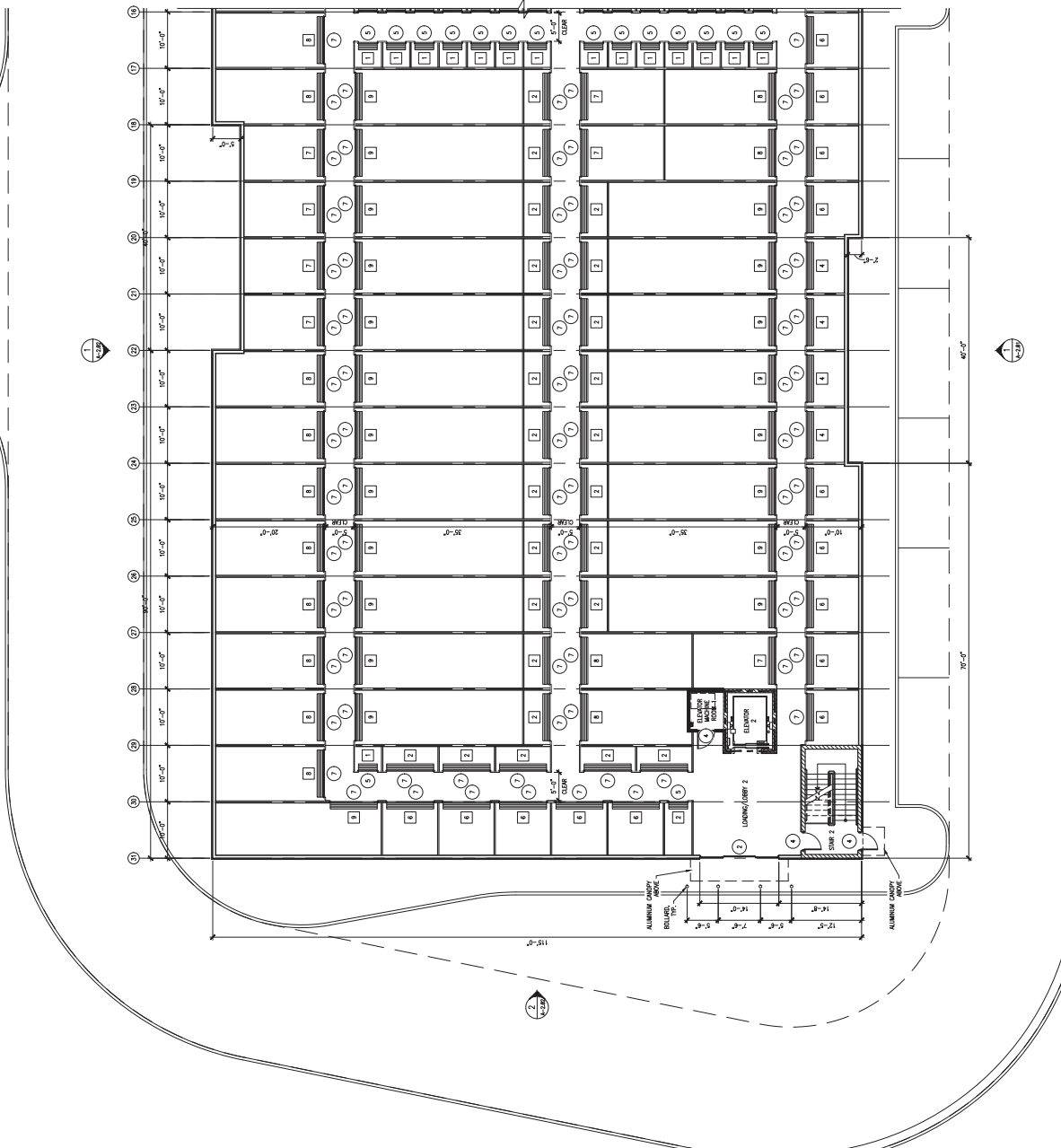
FIRST LEVEL SF 33,900  
OVERALL TOTAL SF 101,700  
MERCHANDISE SF 890  
NRSF = 76,648  
NRSF % = 73.54%

UNIT MIX COUNT SCHEDULE			
UNIT	COUNT	UNIT TYPE	RENTABLE PERCENT
1	117	5X5	0.08%
2	208	5X10	1.0400%
3	4	7X10	2.80
4	91	7X10	4.55
5	91	7X10	4.55
6	188	10X10	1.8800%
7	130	10X15	1.9500%
8	32	10X15	1.33%
9	32	10X10	1.33%
SUB TOTAL:			754
			76648
			1.00%

FIRST FLOOR UNIT MIX SCHEDULE			
UNIT	COUNT	UNIT TYPE	RENTABLE PERCENT
1	24	5X5	0.08%
2	56	5X10	2.800
3	8	7X10	0.02%
4	8	7X10	0.02%
5	23	10X10	2.300
6	23	10X15	3.450
7	23	10X15	3.450
8	32	10X10	1.33%
9	32	10X10	1.33%
SUB TOTAL:			195
			75550
			1.00%

ACCESSIBLE UNIT SCHEDULES  
PER THE 2010 ADA STANDARDS

MINIMUM NUMBER REQUIRED			
UNIT TYPE	MINIMUM NUMBER REQUIRED	UNIT TYPE	MINIMUM NUMBER REQUIRED
1-2	1	3-4	1
5-6	1	7-8	1
9-10	1	11-12	1
TOTAL NUMBER OF STAIRS AND ELEVATORS REQUIRED = 2			
TOTAL NUMBER OF STAIRS AND ELEVATORS PROVIDED = 2			
ACCESSIBLE STAIRS AND ELEVATORS PROVIDED FOR 1ST FLOOR = 2			
ACCESSIBLE STAIRS AND ELEVATORS PROVIDED FOR 2ND FLOOR = 2			
ACCESSIBLE STAIRS AND ELEVATORS PROVIDED FOR 3RD FLOOR = 2			



1.01 FIRST LEVEL FLOOR PLAN - WEST

1/8" = 1'-0"



TOTAL NUMBER OF STORAGE UNITS REQUIRED ACCESSIBLE = 22	ACCESSIBLE STORAGE UNITS PROVIDED PER 1ST FLOOR = 8
	ACCESSIBLE STORAGE UNITS PROVIDED PER 2ND FLOOR = 7
	ACCESSIBLE STORAGE UNITS PROVIDED PER 3RD FLOOR = 7





- WALL TYPE GENERAL NOTES:
- ALL GYP BOARD WALL AND CEILING SCHEDULED FOR PAINT OR WALL COVERING SHALL BE CONSTRUCTED TO LOCAL FOUR (4) TIMES.
  - ALL WALL TYPES SCHEDULED TO RECEIVE BRONZE SHALL BE EXTERNALLY FINISHED WITH BRONZE. ALL WALL TYPES SCHEDULED TO RECEIVE BRONZE SHALL BE EXTERNALLY FINISHED WITH BRONZE. ALL WALL TYPES SCHEDULED TO RECEIVE BRONZE SHALL BE EXTERNALLY FINISHED WITH BRONZE.
  - ALL GYP BOARD WALL TYPES EXPOSED TO VIEW SHALL BE TERMINATED WITH BRONZE. ALL WALL TYPES SCHEDULED TO RECEIVE BRONZE SHALL BE EXTERNALLY FINISHED WITH BRONZE.
  - ALL WALLS SHALL RECEIVE FINISHES PER THE FINISH PLAN AND SCHEDULE.

21-0230  
04/15/2021

GENERAL NOTES:

- CONCRETE ARE TO BE FACE OF STUD OR CONCRETE UNLESS NOTED OTHERWISE.
- THE OWNER SHALL VERIFY COMPLIANCE WITH THE "MASONRY WITH REINFORCED CONCRETE" SECTION OF THE 2019 INTERNATIONAL BUILDING CODE AND ACCESSIBILITY GUIDANCE.
- REFER TO SHEET A-1.01A FOR PARTITION TYPES.
- FIRE SUPPRESSION SYSTEM TO BE A DETECTED SMULTIPLY SYSTEM TO MEET ALL REQUIREMENTS OF THE 2019 INTERNATIONAL BUILDING CODE AND LOCAL APPROVALS PRIOR TO INSTALLATION.
- ALL STAIR AND ELEVATOR CORE WALLS ARE 1-HR RATED.
- PROVIDE REVISIONS AND CHANGES AT ALL LOADING AREAS AND ALL EXTERIOR DOOR ACCESS POINTS.
- ALL STAIRS PROVIDED UNDER ALL EXTERIOR WALLS.

KEY NOTES:

- ELEVATION 100 - REFER TO SHEET A-1.01A
- UNIT TYPE 100  
UNIT TYPE 100  
DOOR 100

FIRST LEVEL SF 33,900  
OVERALL TOTAL SF 101,700  
MERCHANDISE SF 890

UNIT MIX COUNT SCHEDULE		
UNIT COUNT	RENTABLE UNIT TYPE	PERCENT
1	117	58%
2	208	51%
3	4	7%
4	91	7%
5	188	10%
6	130	10%
7	130	10%
8	32	10%
SUB TOTAL: 794		100%

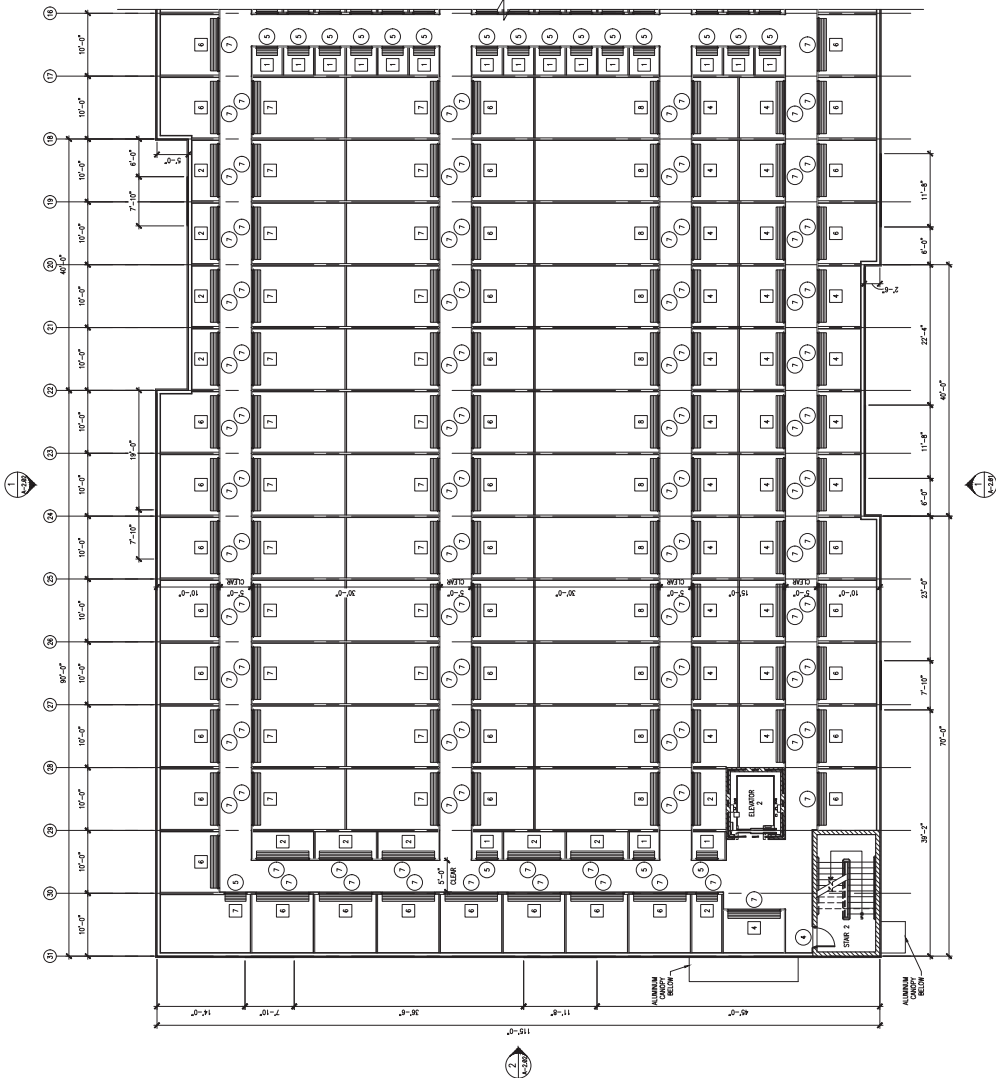
SECOND FLOOR UNIT MIX SCHEDULE		
UNIT COUNT	RENTABLE UNIT TYPE	PERCENT
1	21	5%
2	48	5%
3	2	7%
4	43	7%
5	73	10%
6	57	10%
7	19	10%
8	19	10%
SUB TOTAL: 264		100%

ACCESSIBLE UNIT SCHEDULE		
UNIT COUNT	RENTABLE UNIT TYPE	PERCENT
1	21	5%
2	48	5%
3	2	7%
4	43	7%
5	73	10%
6	57	10%
7	19	10%
8	19	10%
SUB TOTAL: 264		100%

MINIMUM NUMBER REQUIRED  
TOTAL UNIT COUNT  
TOTAL UNIT COUNT  
TOTAL UNIT COUNT

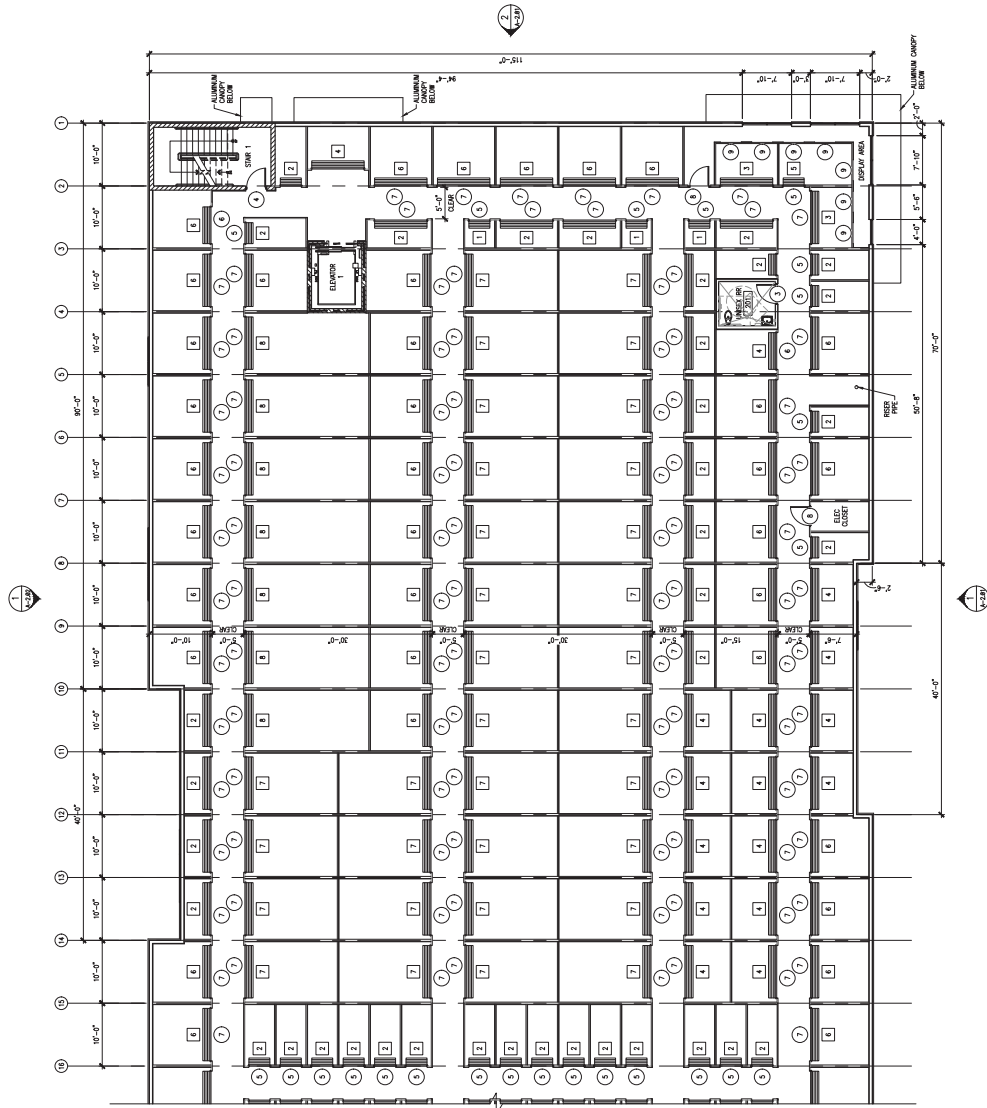
① SECOND LEVEL FLOOR PLAN - WEST

1/8" = 1'-0"





5





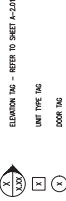
- WALL TYPE GENERAL NOTES:
- ALL GYP BOARD WALL AND CEILING SCHEDULED FOR PAINT OR WALL COVERING SHALL BE CONSTRUCTED TO LEAD FOUR (4) TIMES.
  - ALL WALL TYPES SCHEDULED TO RECEIVE BRACING SHALL BE BRACED TO PROVIDE MINIMUM OF 2 BRACES PER WALL SEGMENT.
  - ALL GYP BOARD WALL TYPES EXPOSED TO VIEW SHALL BE TERMINATED TO MATCH THE FINISH OF THE ADJACENT WALL TYPE.
  - ALL WALLS SHALL RECEIVE FINISHES IDENTIFIED ON THE FINISH PLAN AND SCHEDULE.

21-0230  
04/15/2021

GENERAL NOTES:

- CONCRETE ARE TO BE FACE OF STUD OR CONCRETE UNLESS NOTED OTHERWISE.
- THE OWNER SHALL VERIFY COMPLIANCE WITH THE "MASONRY WITH REINFORCING BARS" SECTION OF THE 2015 INTERNATIONAL BUILDING CODE AND ACCESSIBILITY REQUIREMENTS.
- REFER TO SHEET A-1.03A FOR PARTITION TYPES.
- FIRE SUPPRESSION SYSTEM TO BE A DETECTED SMULTIPLY SYSTEM TO MEET ALL REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE AND LOCAL APPROVALS PRIOR TO INSTALLATION.
- ALL SHIM AND CLUSTER CORE WALLS ARE 1-HR RATED.
- PROVIDE REVISIONS AND CHANGES AT ALL LOADING AREAS AND ALL EXTERIOR DOOR ACCESS POINTS.
- ALL SLAB REQUIRED UNDER ALL EXTERIOR WALLS.

KEY NOTES:



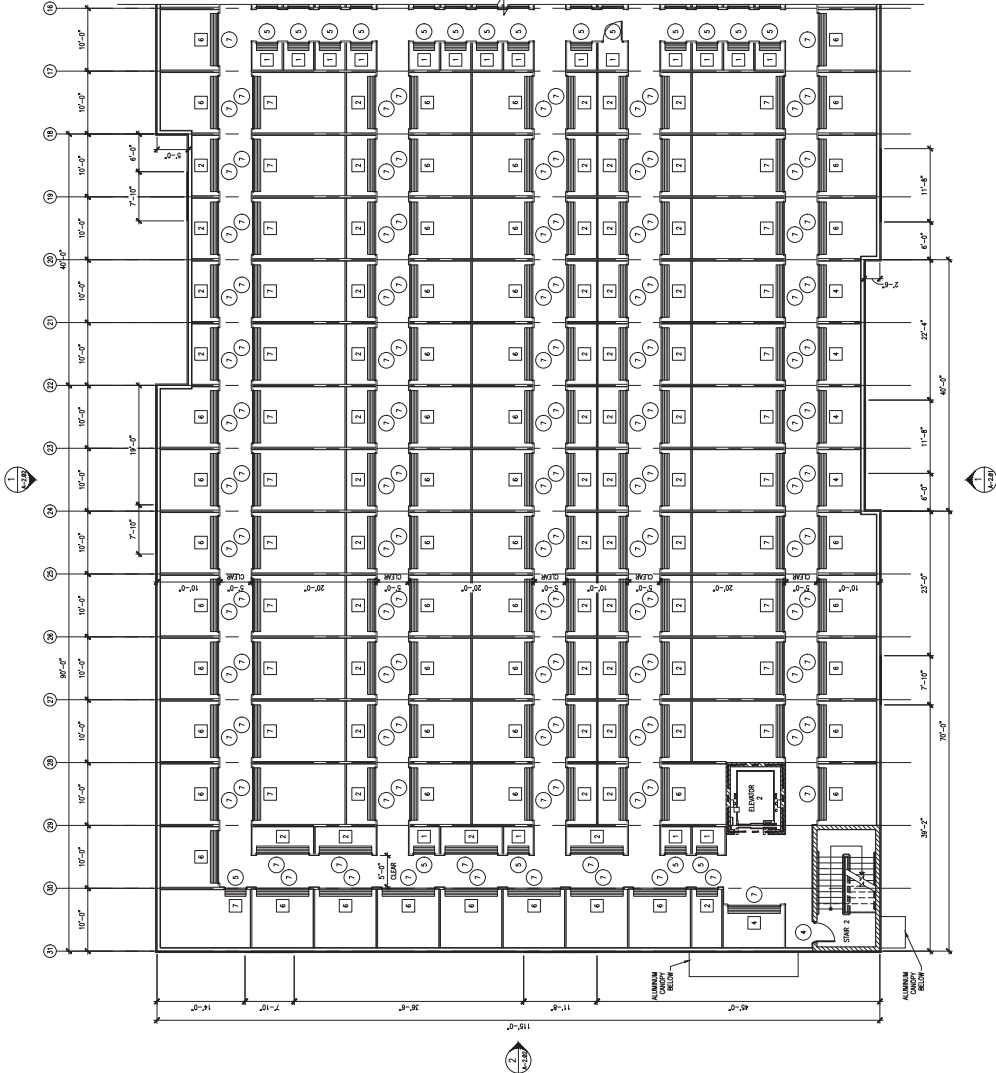
FIRST LEVEL SF  
OVERALL TOTAL SF  
MERCHANDISE SF

33,900  
101,700  
890

UNIT MIX COUNT SCHEDULE		
UNIT	COUNT	PERCENT
1	117	58%
2	208	51%
3	4	7%
4	91	7%
5	188	10%
6	130	10%
7	32	10%
SUB TOTAL:		754

THIRD FLOOR UNIT MIX SCHEDULE		
UNIT	COUNT	PERCENT
1	72	58%
2	104	51%
3	2	7%
4	10	7%
5	92	10%
6	50	10%
7	1	10%
SUB TOTAL:		331

ACCESSIBLE UNIT SCHEDULE		
UNIT	COUNT	PERCENT
1	1	100%
2	1	100%
3	1	100%
4	1	100%
5	1	100%
6	1	100%
7	1	100%
SUB TOTAL:		7



① THIRD LEVEL FLOOR PLAN - WEST  
1/8" = 1'-0"



## GENERAL NOTES:

1. ALL GYP BOARD WALL AND CEILING SCHEDULED FOR PAINT OR WALL COVERING SHALL BE CONSTRUCTED TO LEVEL FOUR (4) FINISH.
2. ALL WALL TYPES SCHEDULED TO RECEIVE BRACING SHALL BE DIAGONALLY BRACED TO STRUCTURE ABOVE AT 4'-0" O.C. ALTERNATING DIRECTIONS. PROVIDE MINIMUM OF 2 BRACES PER WALL SEGMENT.
3. ALL GYPSUM BOARD WALL TOPS EXPOSED TO VIEW SHALL BE TERMINATED WITH J-BEAMS AND MUD.
4. ALL WALLS SHALL RECEIVE FINISHES AND BRACES AS PER THE FINISH PLAN AND SCHEDULE.

1. DIMENSIONS ARE TO THE FACE OF STUD OR CENTERLINE UNLESS NOTED OTHERWISE.
2. THE OWNER SHALL VERIFY COMPLIANCE WITH THE "AMERICAN WITH DISABILITIES ACT" - A FEDERAL LAW EFFECTIVE 1992 AND INTERNATIONAL BUILDING CODE AND ACCESSIBILITY GUIDELINES.
3. REFER TO SHEET A-5-4 FOR FINISHES TYPES.
4. FIRE SUPPRESSION SYSTEM TO BE A DEFINED SMARTEL SYSTEM TO ALL APPLICABLE CODES, SHAWM AND OCEAN ALL STATE AND LOCAL APPROVALS PRIOR TO INSTALLATION.
5. ALL STAIR AND ELEVATOR CORE WALLS ARE -1/4" RATED.
6. ALL STAIR DOORS TO BE FIRE RATED PER DOOR SCHEDULE.
7. PROVIDE KEYINGS AND CAMERS AT ALL LOADING AREAS AND ALL EXTERIOR DOOR ACCESS POINTS.
8. SILL SEALS REQUIRED UNDER ALL EXTERIOR WALLS.

ELEVATION TAG - REFER TO SHEET A-2.0

UNIT TYPE TAG

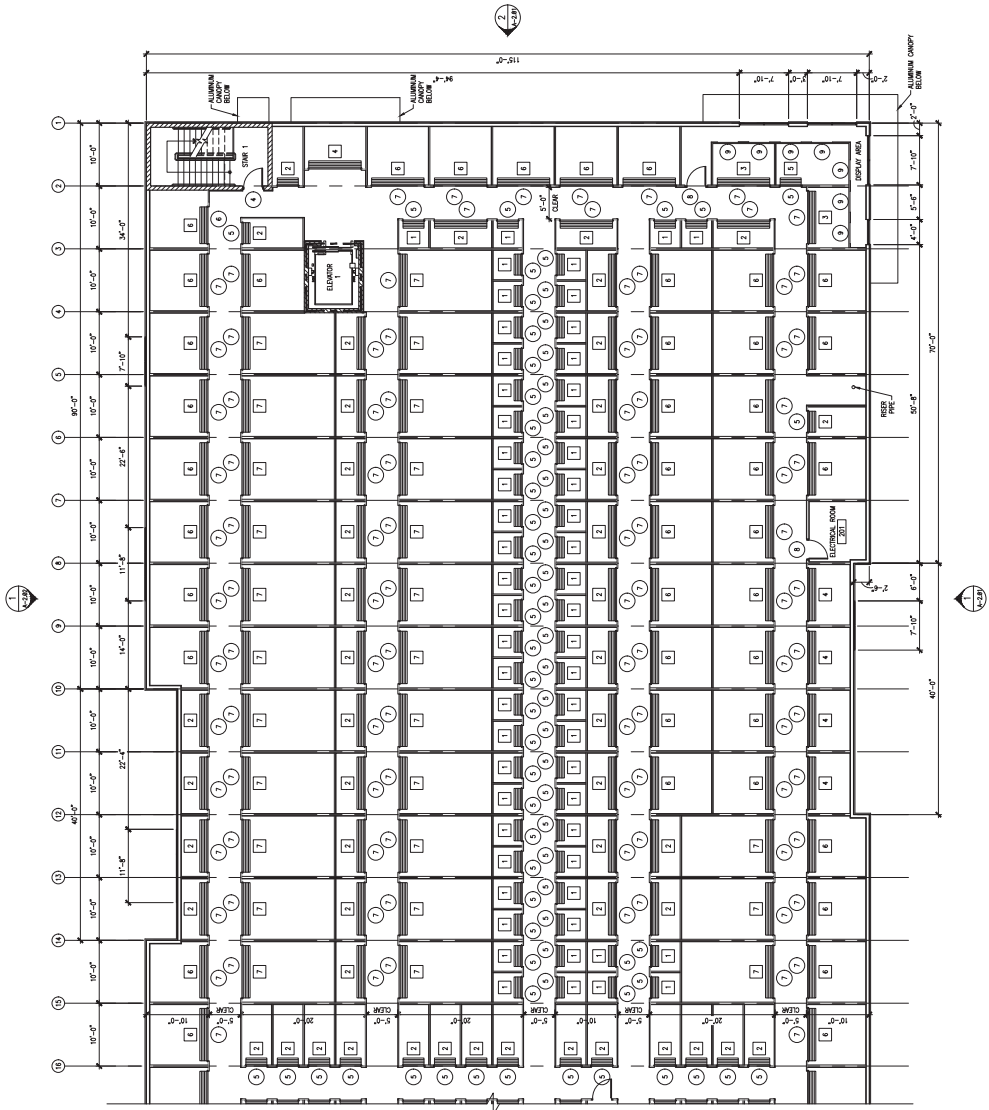
DOOR TAG

FIRST LEVEL SF	33,900
OVERALL TOTAL SF	101,700
MERCHANDISE SF	890

UNIT MIX COUNT SCHEDULE				RENTABLE AREA	PERCENT
UNIT	COUNT	UNIT TYPE			
1	117	5X5		2925	04%
2	208	5X10		10400	14%
3	4	7X10		280	<01%
4	61	7.5X10		4575	06%
5	2	7X12		168	<01%
6	188	10X10		18800	24%
7	130	10X15		19500	25%
8	52	10X20		10400	14%
9	32	10X30		9600	13%
SUB TOTAL:				794	100%
				76648	100%

THIRD FLOOR UNIT MIX SCHEDULE			
UNIT	COUNT	UNIT TYPE	RENTABLE AREA PERCENT
1	72	5X5	07%
2	104	5X10	21%
3	2	7X10	01%
4	10	7 X 10	03%
5	1	7X12	<01%
6	92	10X10	37%
7	50	10X15	31%
8	-	10X20	-
SUBTOTAL	321	10X30	100%
			3,674

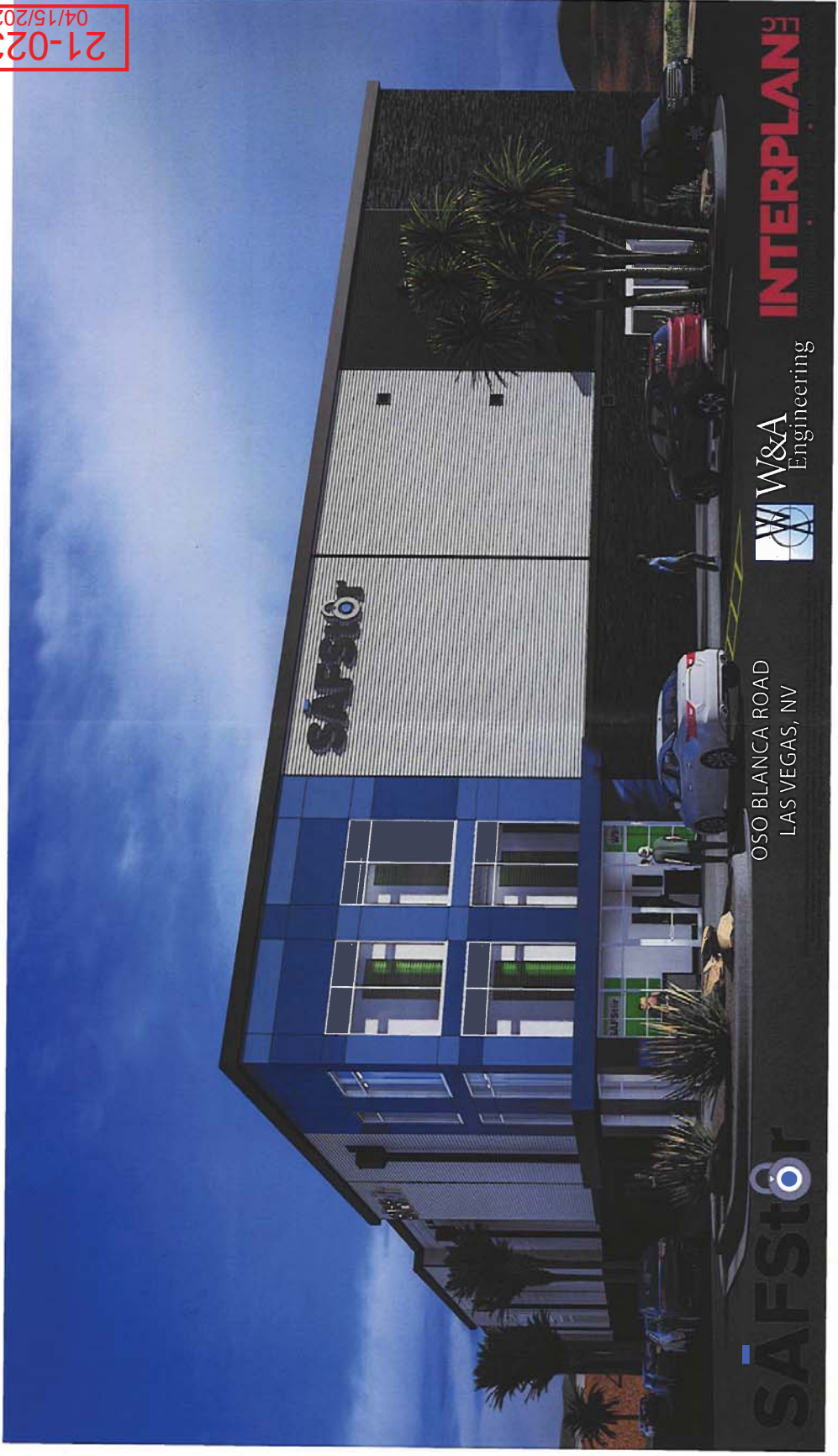
ACCESSIBLE UNITS CALCULATIONS: PER IBC 2017, TABLE 1108.3	
TOTAL SPACES IN FACILITY	MINIMUM NUMBER REQUIRED ACCESSIBLE SPACES
1-200	5%, BUT NOT LESS THAN 1
OVER 200	10, PLUS 2% OF TOTAL NUMBER OF UNITS OVER 200
TOTAL NUMBER OF STORAGE UNITS REQUIRED ACCESSIBLE = 22	
ACCESSIBLE STORAGE UNITS PROVIDED PER 1ST FLOOR = 8	
ACCESSIBLE STORAGE UNITS PROVIDED PER 2ND FLOOR = 7	
ACCESSIBLE STORAGE UNITS PROVIDED PER 3RD FLOOR = 7	



① 1 THIRD LEVEL FLOOR PLAN - EAST



21-0230  
04/15/2021



OSO BLANCA ROAD  
LAS VEGAS, NV



INTERPLAN<sup>ES</sup>





21-0230  
04/15/2021

